



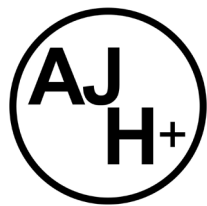
Traders
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BONNYRIGG GREENS

LOT 4099 DP 1182418

SITE URBAN STUDY REPORT

JUNE 2024



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Date of first issue: JUNE 2024
Revision: 02
Issued: AJH
Approved: --

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1.0 INTRODUCTION

The Bonnyrigg Greens proposal is a site forming part of the approved Land and Housing Corporation (LAHC) broader masterplan for the Bonnyrigg precinct. The masterplan whilst defined and approved by Fairfield City council is yet to be built and includes new roads and infrastructure.

AJH+ has led the architectural response to the site considering the future context and providing a response that presents a considered and sensitive proposal celebrating its location.

Bonnyrigg Greens site is part of the masterplan and is approved to contain a residential flat building. The proposed 25-dwelling project sensitively responds to the future context and defines its “gateway” corner site adjacent to Bunker Park.

Our design intelligently responds to the site using landscape, built form, articulation and materiality to thoughtfully locate Bonnyrigg Greens to respond to its location sensitively and provides excellent amenity for residents.

This SEPP 65 report has been prepared in support of the Development Application for the site. It evaluates the proposed architecture considering the public realm, building mass, articulation/ scale, vehicle and pedestrian access and amenity.

1.0 INTRODUCTION

The site is situated on Newleaf Road in Bonnyrigg, to the east of Bunker Park. It occupies a corner lot, defining the intersection between Newleaf Road and a future road and the southeastern edge of the park

Bunker Park is a large park located at the heart of the precinct, serving as a focal point for the community. It offers children's play areas, walking and cycling facilities, all amidst a beautiful collection of silver gum trees.

The presence of the park and the majestic gum trees serves as a reminder of the area's agricultural past, which once featured orchards. Plums, pears, and apples were cultivated right here in the early 1900's to mid-century, providing a strong sense of community through farming activities and cultivation for their livelihoods.

Bonnyrigg Greens aims to create a social housing project that extends the communal spirit and landscape, paying homage to the magnificent gum trees and reflecting on the site's agricultural heritage.



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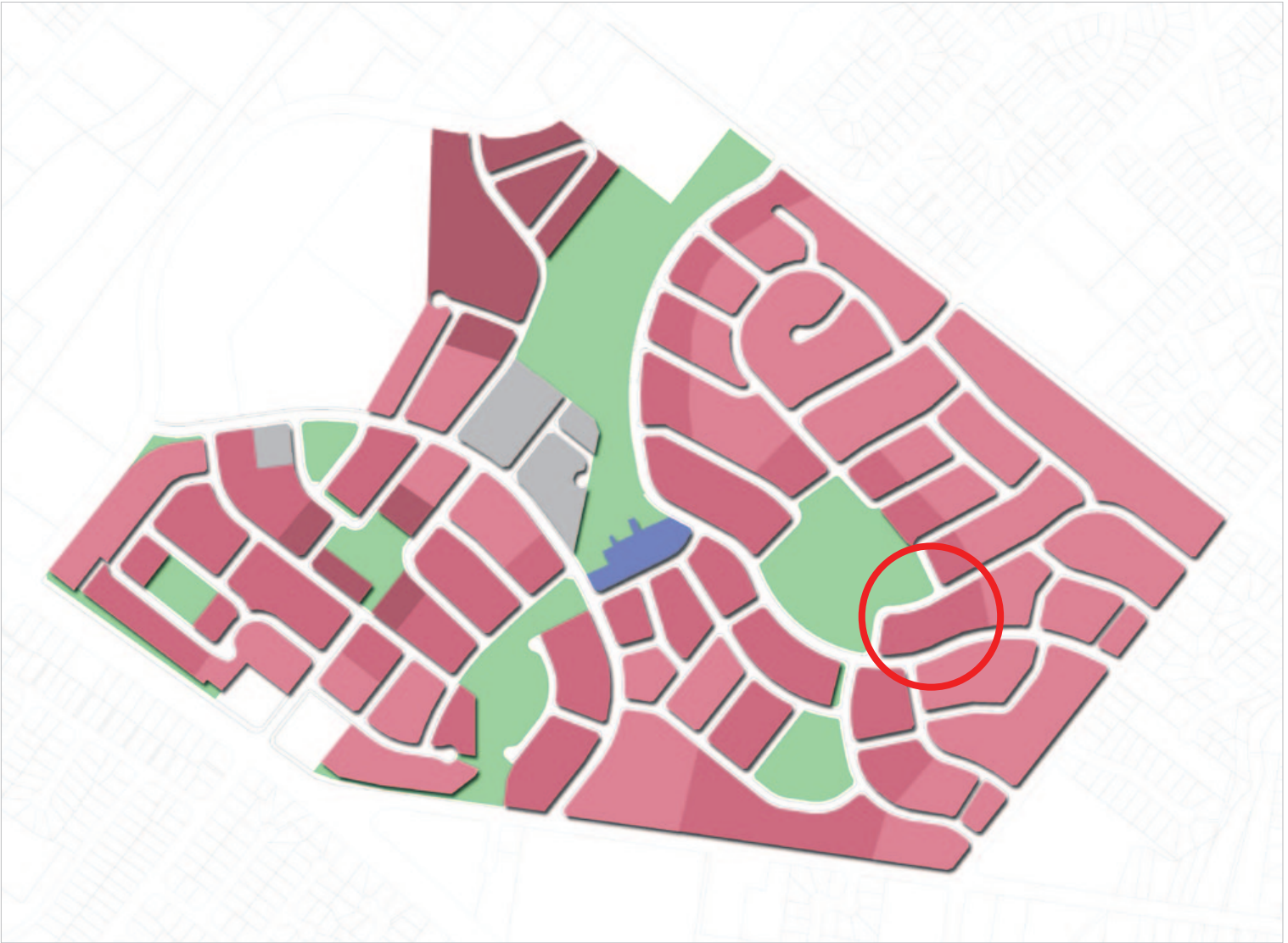


SITE PLANNING CONTEXT

The proposal for Land and Housing Corporation (LAHC) addresses the changing context surrounding the site, which is approved to accommodate approximately sixty new dwellings. Situated on a future corner where Newleaf Road intersects with an approved but yet-to-be-constructed new road along the eastern edge of Bunker Park, the site boasts three street frontages, with a boundary shared to the east with a new dwelling lot.

Within the approved LAHC masterplan for the precinct, the proposed site is designated for a residential flat building comprising 25 dwellings. The design aligns with the approved building type allocated for the site and takes into consideration its future context.

To maximise separation from the neighbouring eastern dwelling, the proposal positions the three-story (partly four-story) building towards the western boundary. This configuration creates a significant deep soil landscape buffer towards the east, ensuring good separation between the future dwelling and the proposal. The majority of the building consists of three stories, with a recessed fourth story housing four dwellings in the southwest corner. This arrangement locates the upper level as far as possible from the neighbouring eastern dwelling while addressing the new corner. The building is set back from all street frontages, allowing for extensive landscaping along all sides, seamlessly extending the existing landscape outlook towards the park and the streetscape. The design incorporates substantial modulation and breaks down the building volumes in a manner that sensitively responds to both the park and the anticipated future dwelling context in the immediate vicinity.



Land Use Map

	Attached and Detached Swellings
	Garden Apartments, Attached Dwellings and Detached Dwellings
	Apartments up to 6 storeys
	Neighbourhood centre
	Existing Dwellings
	Open Space



400m radius along streets from Parks

SURROUNDING CONTEXT

Newleaf Parade is a busy vehicular access street acting as the east-west link through the suburb and providing public transport opportunities.

The streets surrounding Bunker Park including Satinwood Crescent, Jasper Crescent and Birch Street are narrower, suburban scale streets with street planting and no driveways accessing lots fronting the park. This is considered good practice providing pedestrian friendly and safe interface between the community and the park.

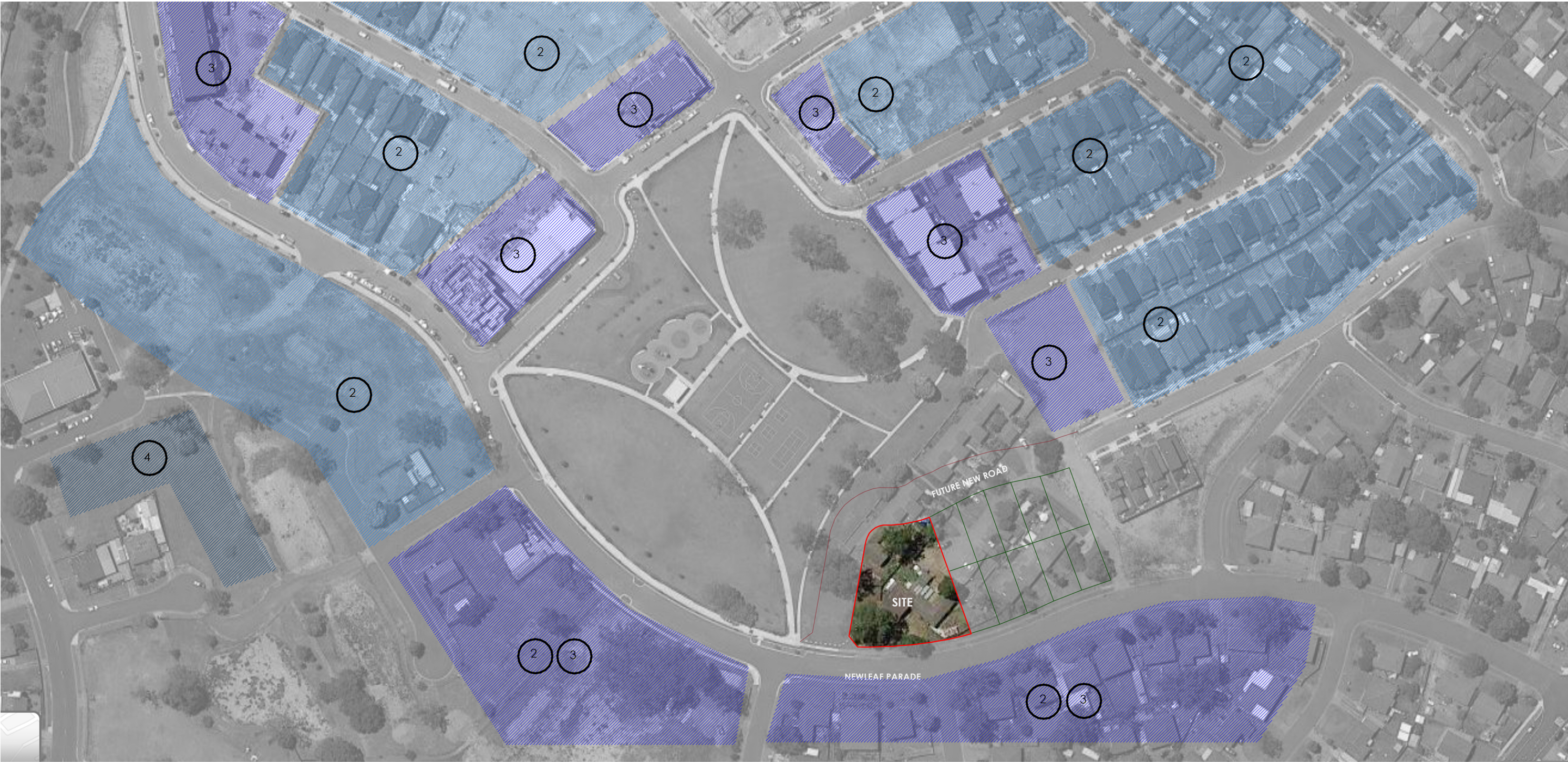


- FUTURE NEW ROAD
- HEAVY TRAFFIC ROAD (NEWLEAF PARADE)
- SUBURBAN ROAD
- NO DRIVEWAYS FRONTING PARK
- PUBLIC TRANSPORT

SURROUNDING CONTEXT

The surrounding built form consist of primarily 3 storey apartments with some large 2 storey houses (attached and detached) and some 4 storey apartment buildings.

Typically the built form is articulated providing rhythm based on balcony sizes for one dwelling and broken down by deep recesses. The built form is setback from the street boundary providing some opportunity for landscaping.

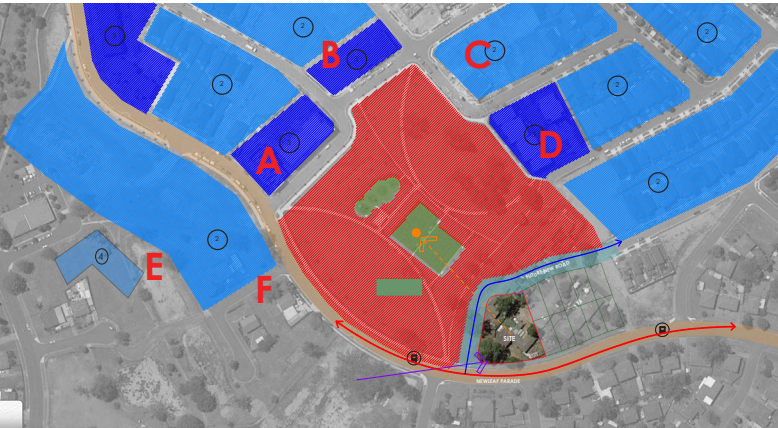


- 2 STOREY DWELLINGS/ HOUSES
- 3 STOREY APARTMENTS
- 4 STOREY APARTMENTS

SURROUNDING CONTEXT

The surrounding built form, although undergoing some change, consists of primarily 3 storey apartments with some large 2 storey houses (attached and detached) and some 4 storey apartment buildings.

Typically the built form is articulated providing rhythm based on balcony sizes for one dwelling and broken down by deep recesses. The built form is setback from the street boundary providing some opportunity for landscaping.



A 3 STOREYS



B TALL 3 STOREYS



C TALL 2 STOREYS



D 3 STOREYS



E TALL 4 STOREYS



F TALL 2 STOREYS

SURROUNDING CONTEXT

Bunker Park is approximately 150m x 150m presenting as the large focal point of the suburb. The vehicle free park contains significant planting, amenity (playgrounds, sports equipment, seating etc) and enjoys excellent solar access.

It has a reasonable graded level change, from north to south, of approximately 5m presenting our site with a slope of approximately 1 level in a north-south direction



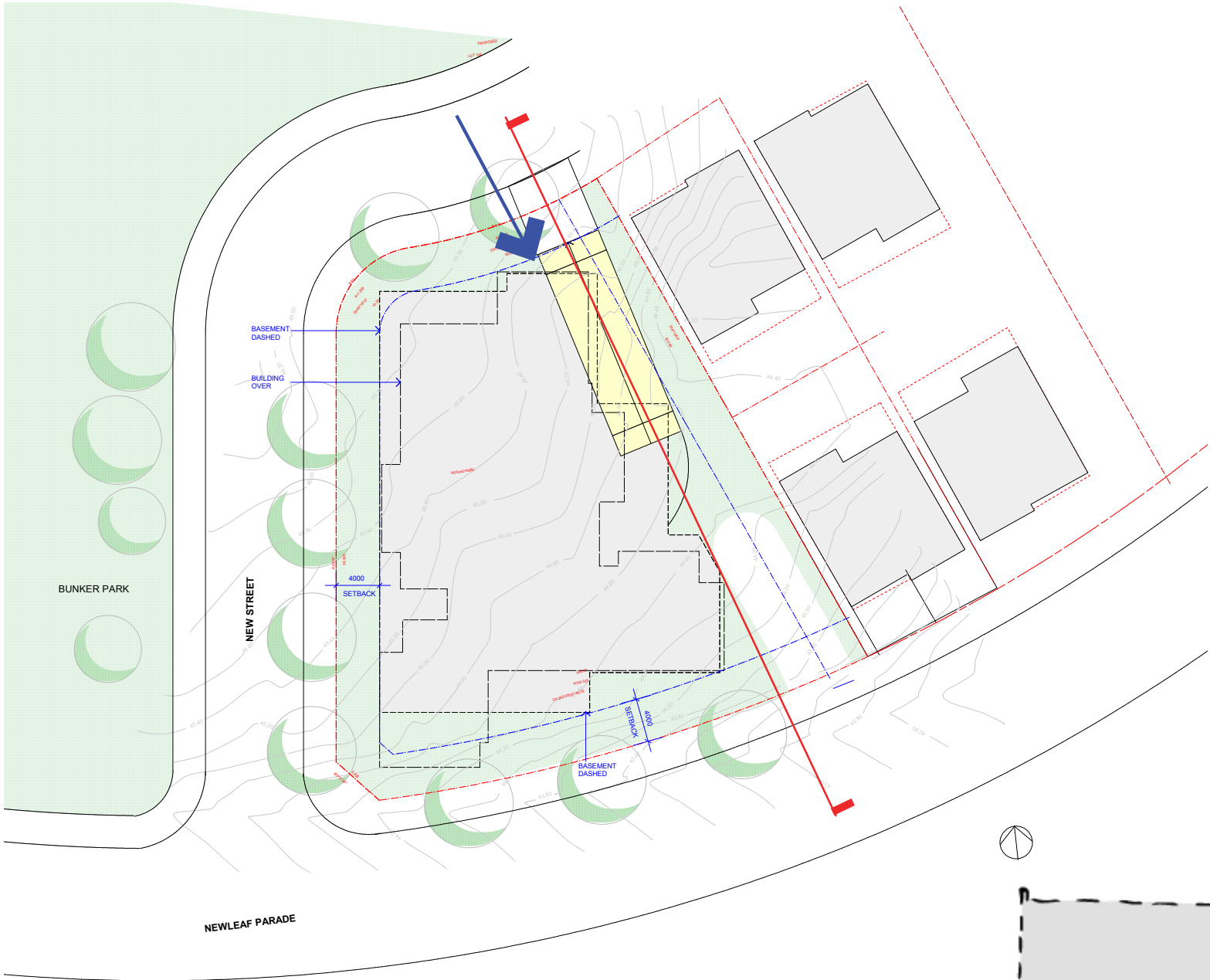
SURROUNDING CONTEXT

The site is located in a significant corner addressing the interface between the park, the primary east-west route and the suburban area. It acts as a gateway

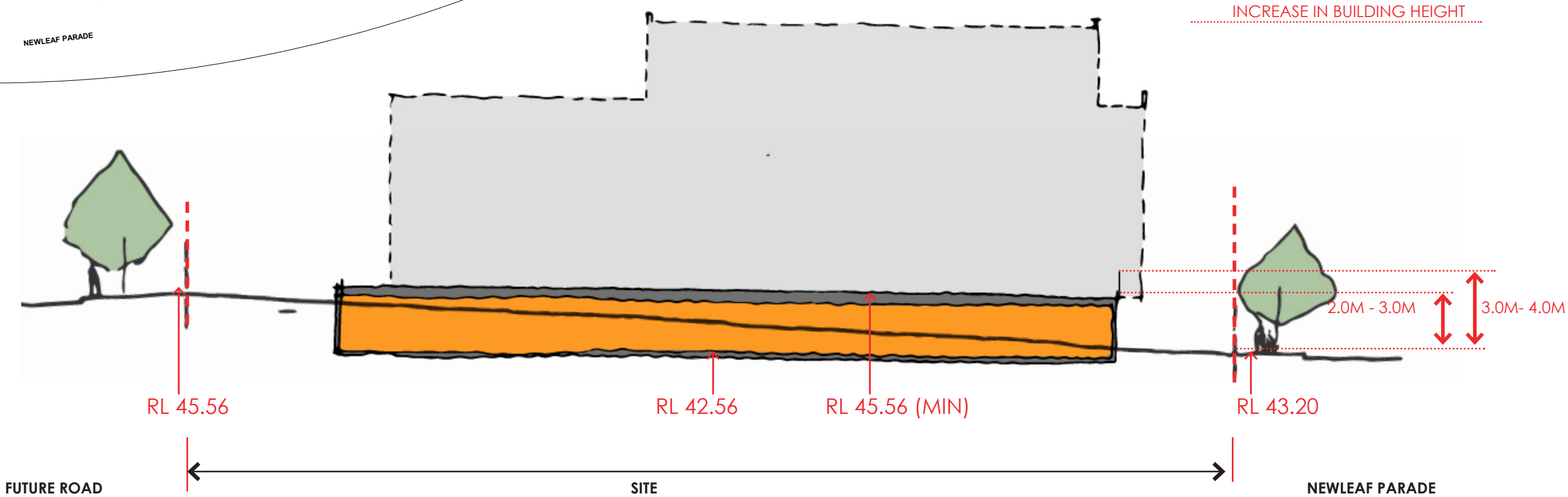


THE SITE

CAR PARKING ACCESS FROM NORTH- DISCARDED

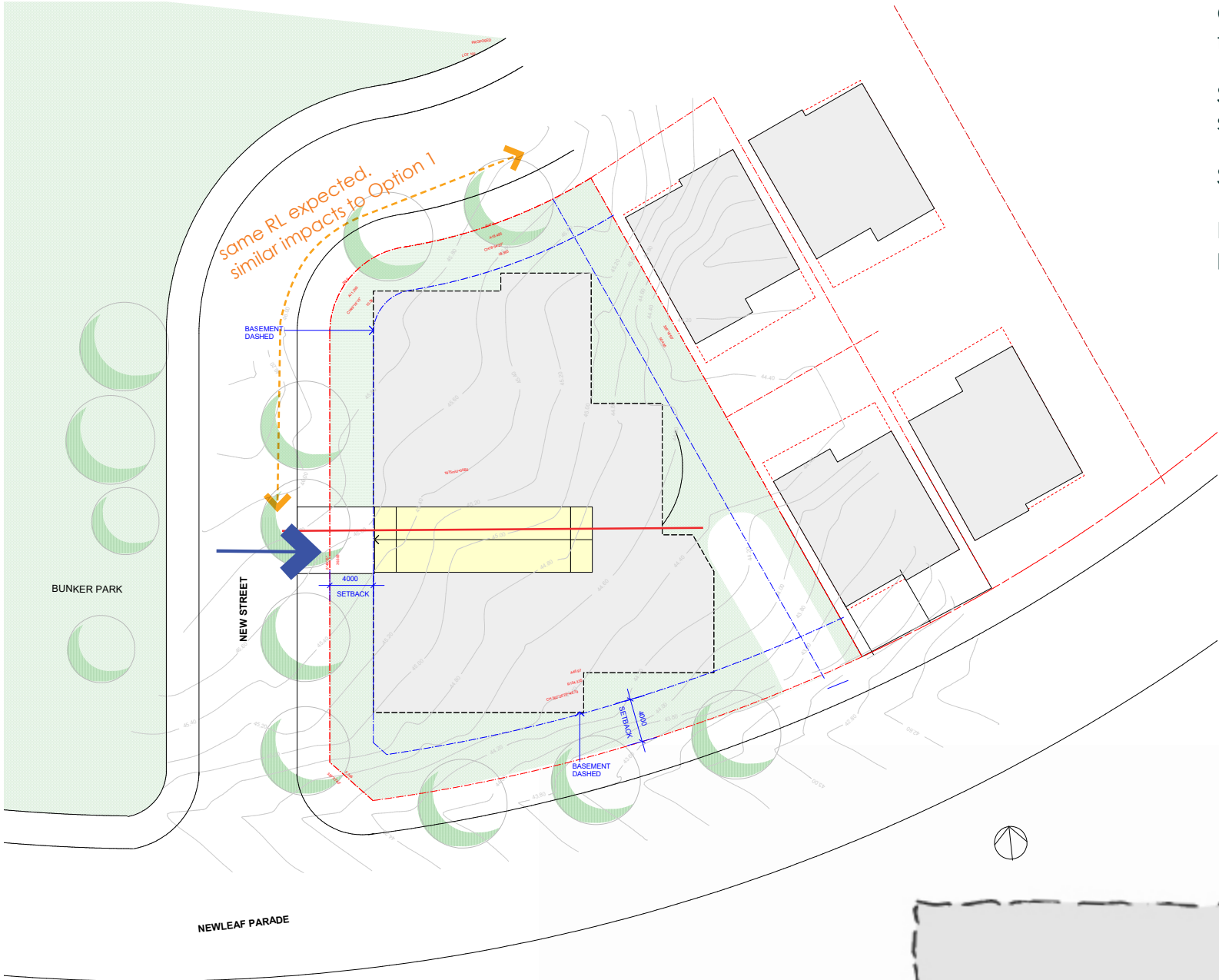


- Ramp entry located near a curve in the road creating potential visibility concerns for pedestrians and vehicles
- Carpark is approximately 2.0m above ground at Newleaf Parade invcreasing overall building height
- Significant ramp length required to enter basement.
- Significant impact on potential north facing Communal Open Space
- Impacts apartments towards the northern end of the site requiring more south located apartments



THE SITE

CAR PARKING ACCESS FROM BUNKER PARK FRONTAGE- DISCARDED

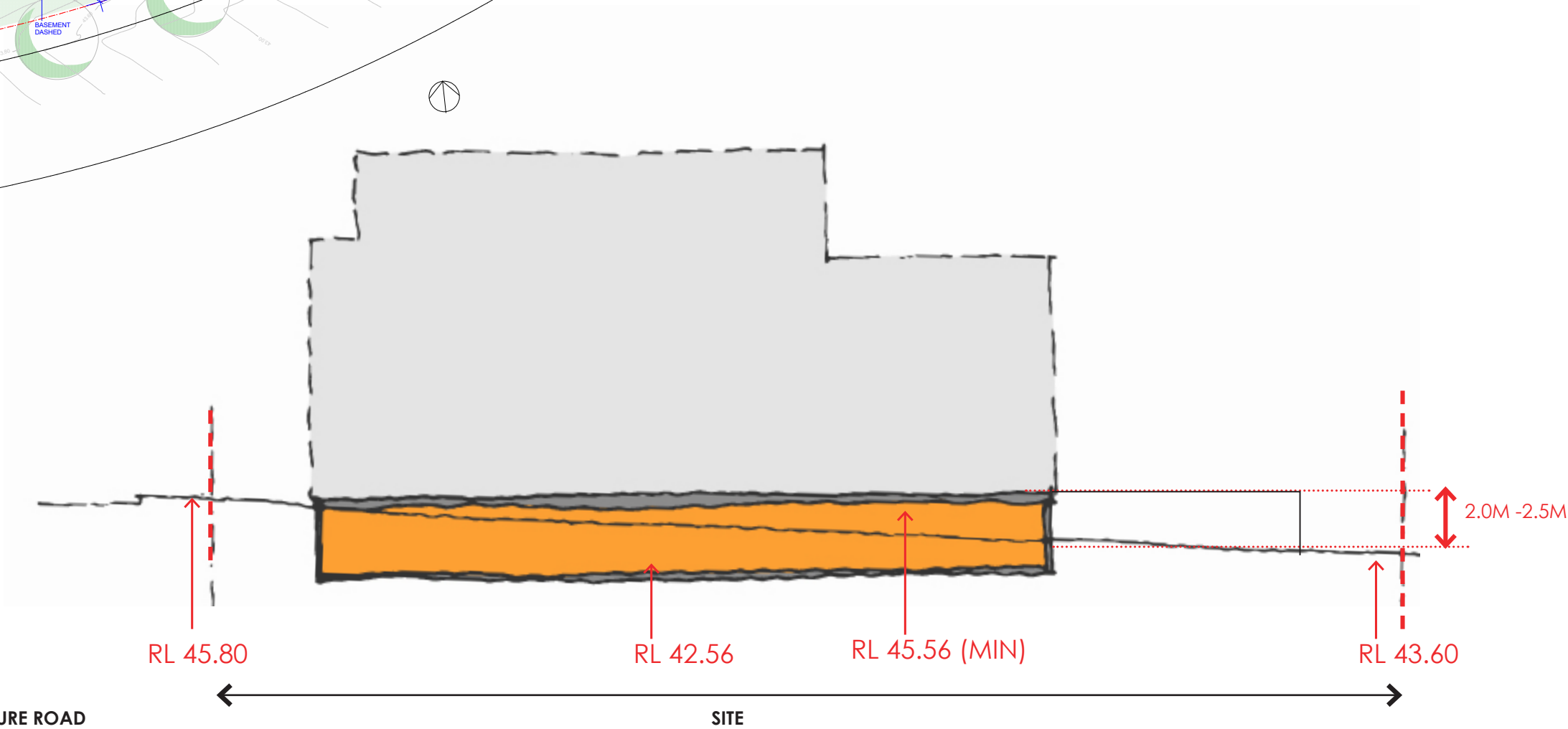


Carparking entry located off a Park frontage street. Ideally there are no vehicular kerb crossings fronting the park to enhance pedestrian experience.

Significant ramp length required to enter basement “dividies” carparking in two creating significant inefficiencies

Significant impact on potential north facing Communal Open Space

Ramp configuration requires a “U turn” or entry parallel to the New road removing deep soil planting opportunities as the basment is not directly aligned with the building

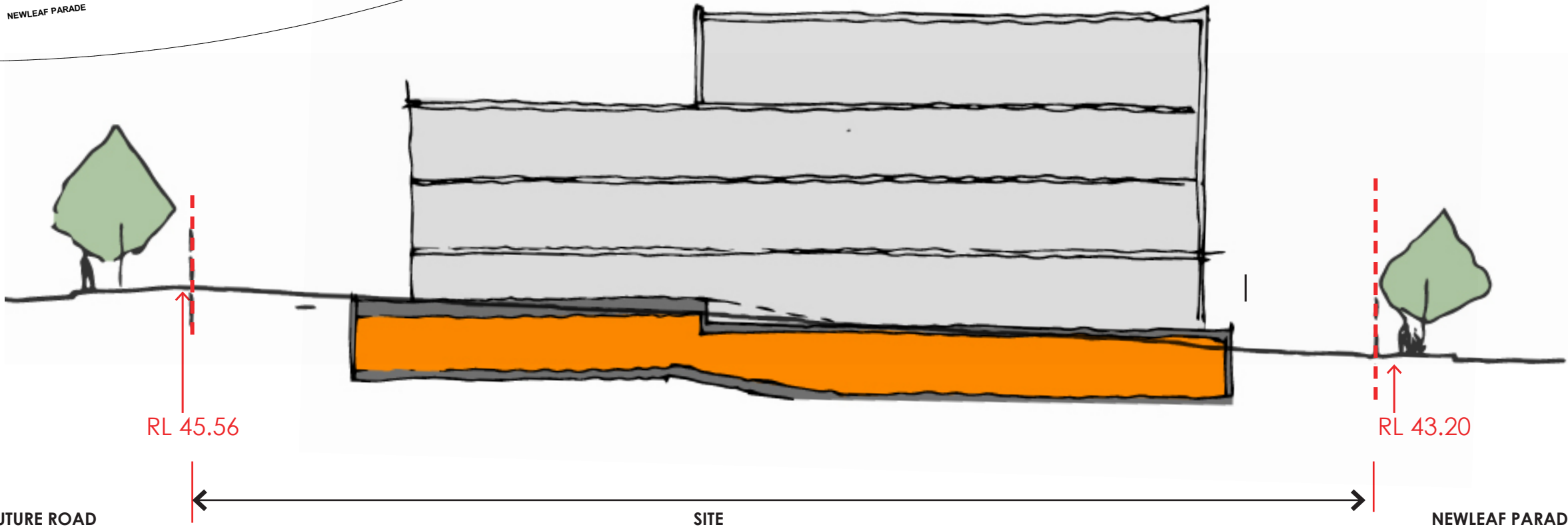
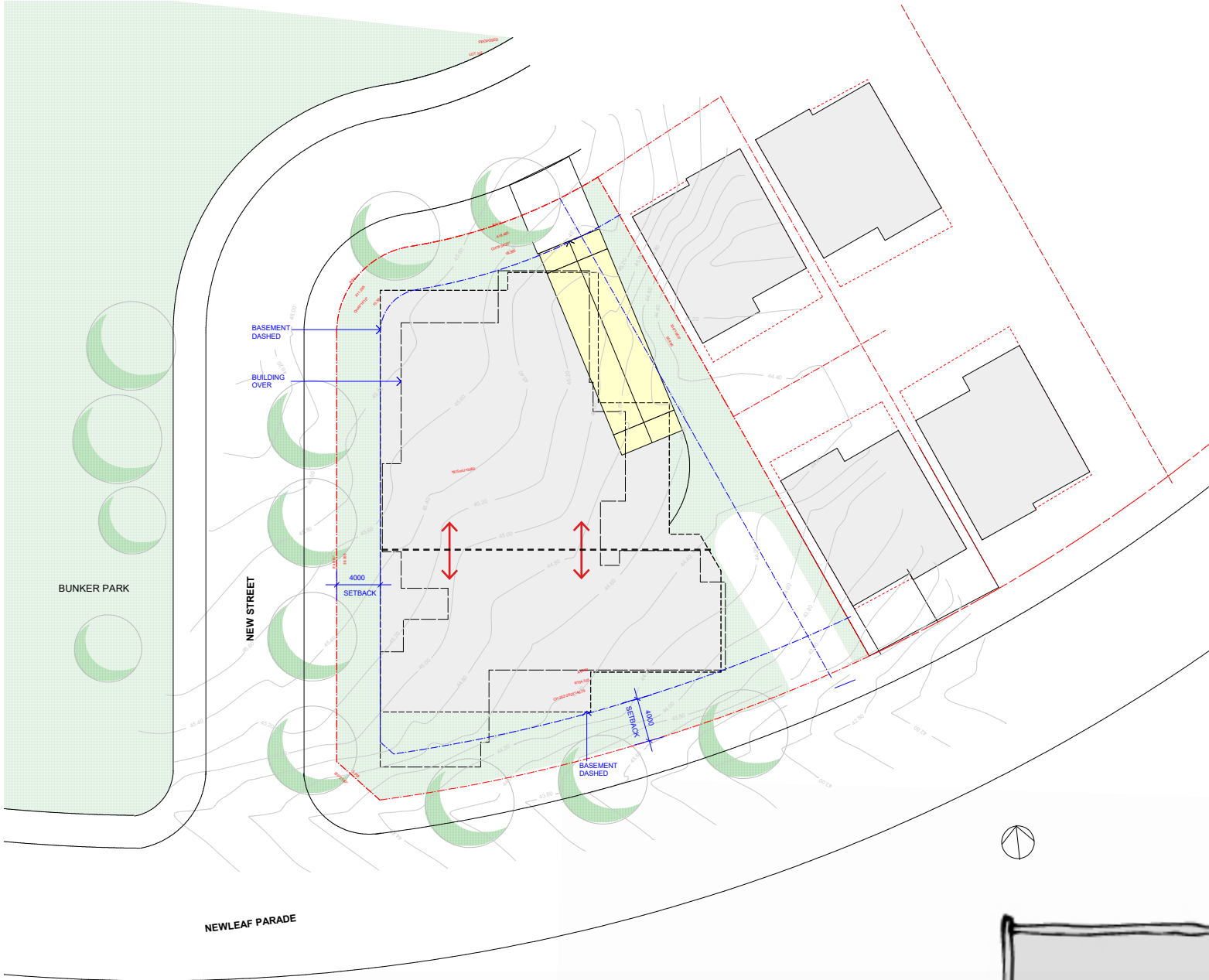


THE SITE

GROUND FLOOR APARTMENTS ACCESSED STRAIGHT FROM FOOTPATH LEVEL- DISCARDED

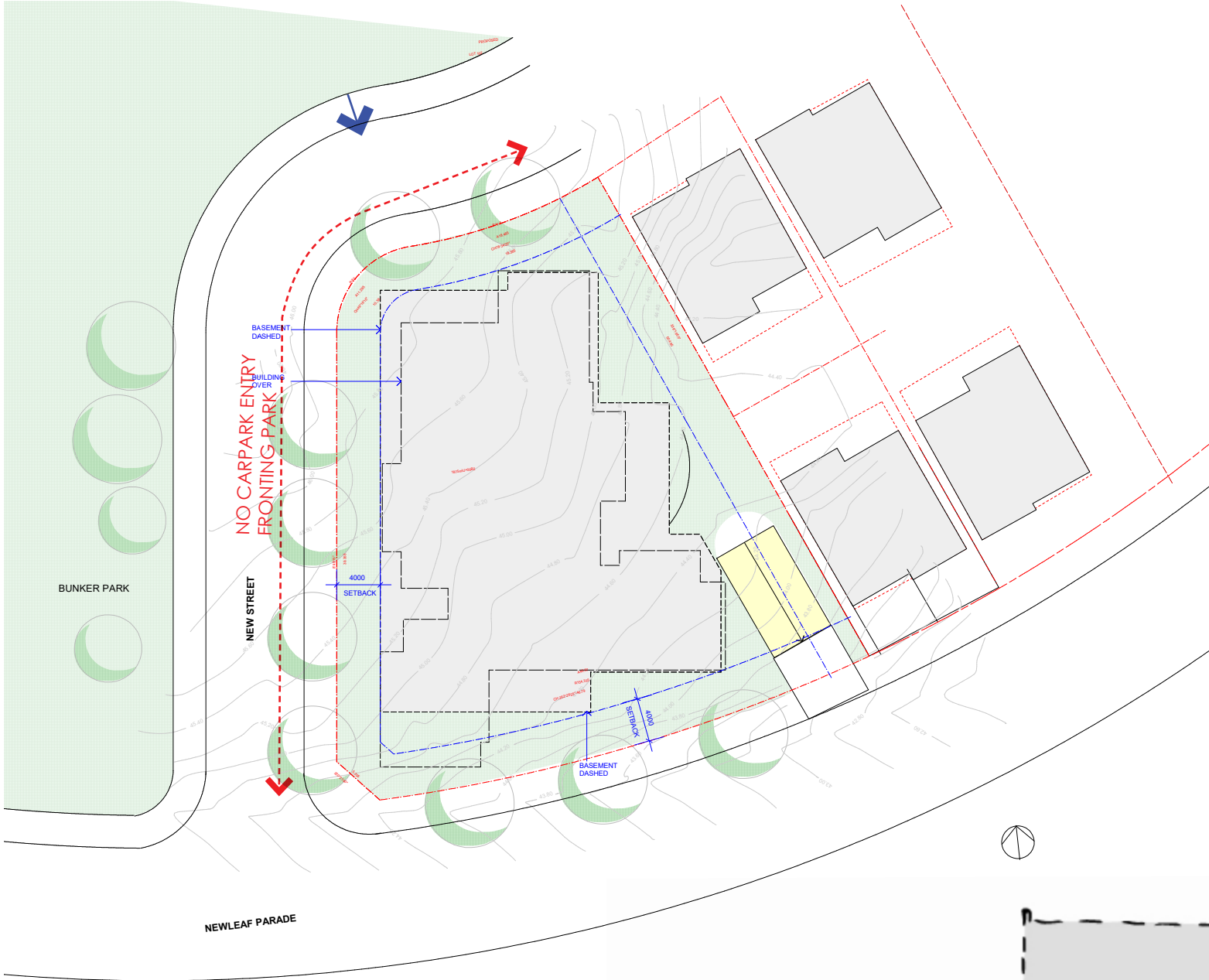
Ground floor apartments aligning with the street level will require a 1m-2m split level ground floor. This will require ramping to connect the ground lobby to the lifts. This is considered detrimental to the scheme as a ramp connection within the lobby spaces will limit dwelling access to common lifts and resident connectivity within the building.

The basement level will allso require greater excavation and require a split level configuration making the basement layout inefficient and reducing deep soil opportunities due to the larger basement required to accommodate same vehicles

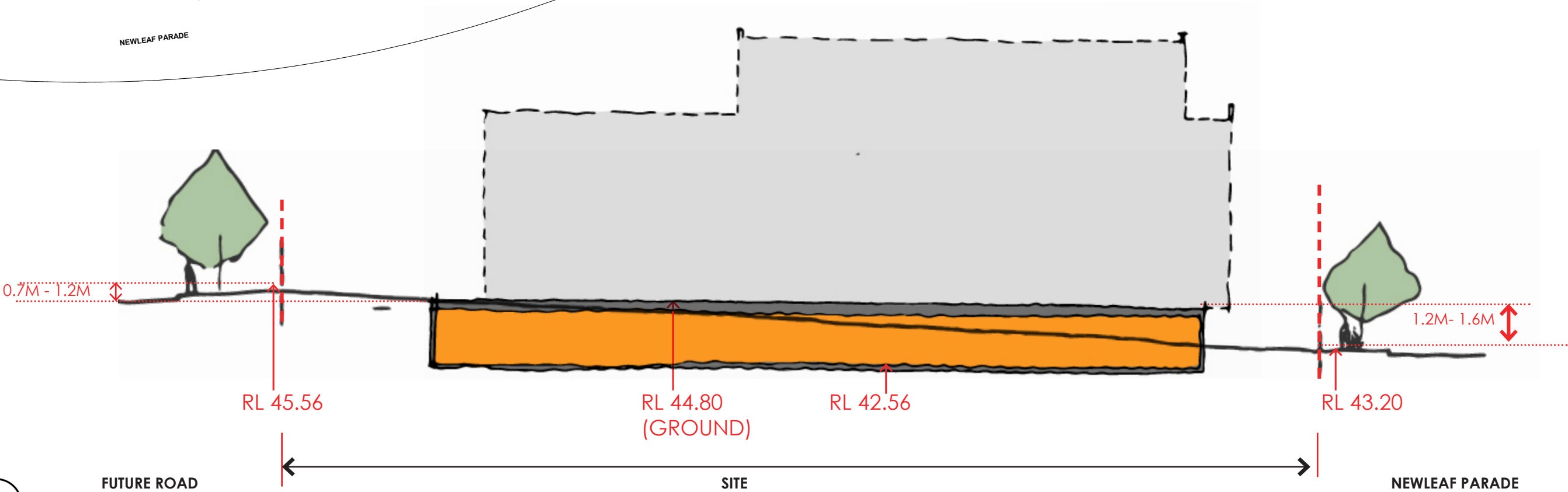


THE SITE

CAR PARKING ACCESS FROM SOUTH EAST CORNER- LOW POINT- SELECTED OPTION



- Ramp location ensure no carparking entry located on street fronting the park
- Carparking entry located at lowest point on the site minimises excavation
- Ramp location minimises extent of ramping and height of protruding basement
- Built form, using conventional cut and fill method, minimise carparking and bulk/ scale of building
- Ramp location provides built form curtilage between apartments and houses



GROUND FLOOR APARTMENTS ACCESSED STRAIGHT FROM FOOTPATH LEVEL- DISCARDED

The current proposal provide an almost level access from the new road

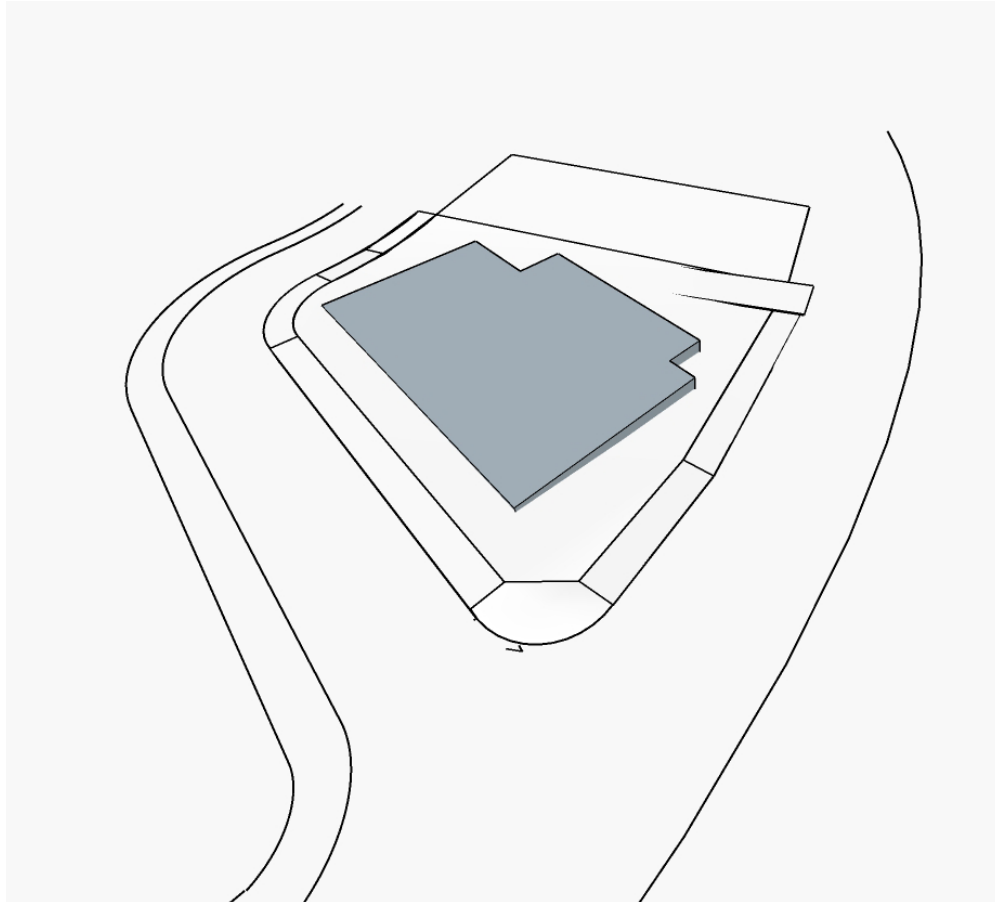


ORIENTING THE BUILDING TO NEWLEAF PARADE

GROUND FLOOR APARTMENTS STAGGERED TO NEWLEAF PARADE- SELECTED OPTION

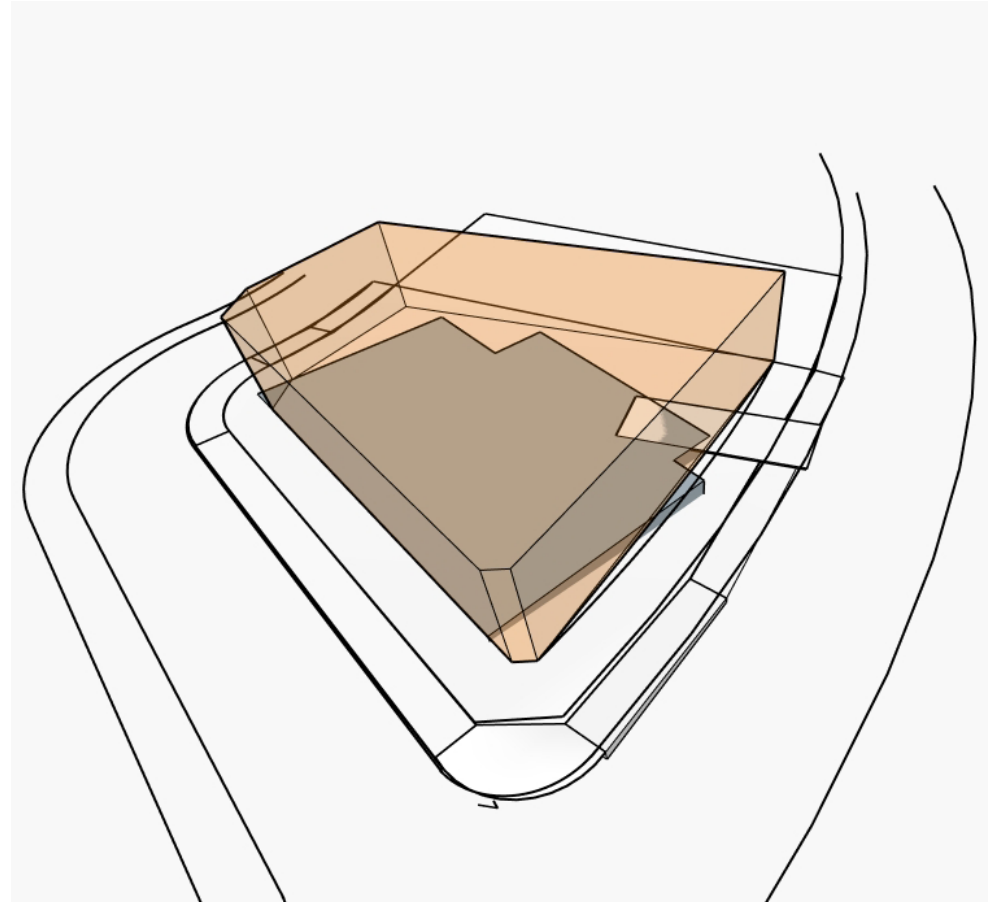
Staggering the built form towards Newleaf Parade provides deep pockets of landscape and building relief. These staggers relate to the scale of the neighbourhood where the variety of housing varied between 1-4 storeys





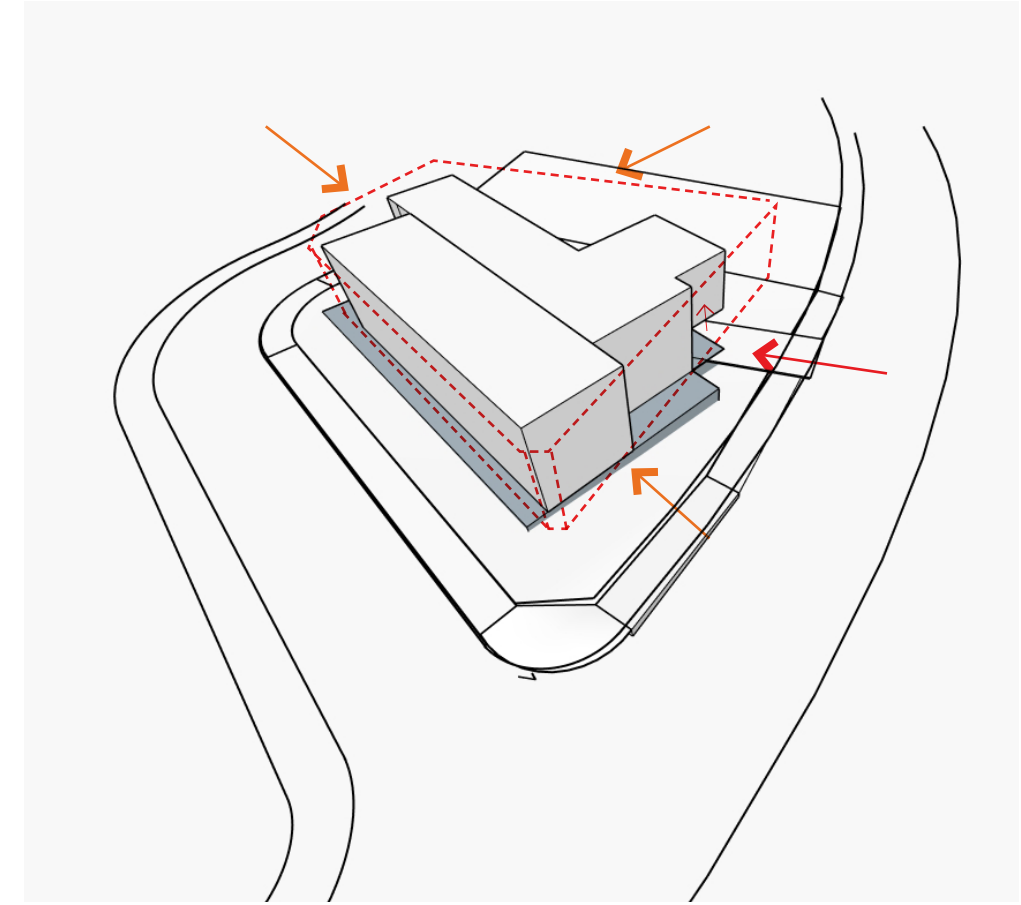
1. LOCATE BASEMENT AS PER OUTCOME OF URBAN STUDY TO:

- MINIMISE PROTRUSION OF BASEMENT
- REMOVE DRIVEWAY TRAFFIC AT PARK FRONTAGE



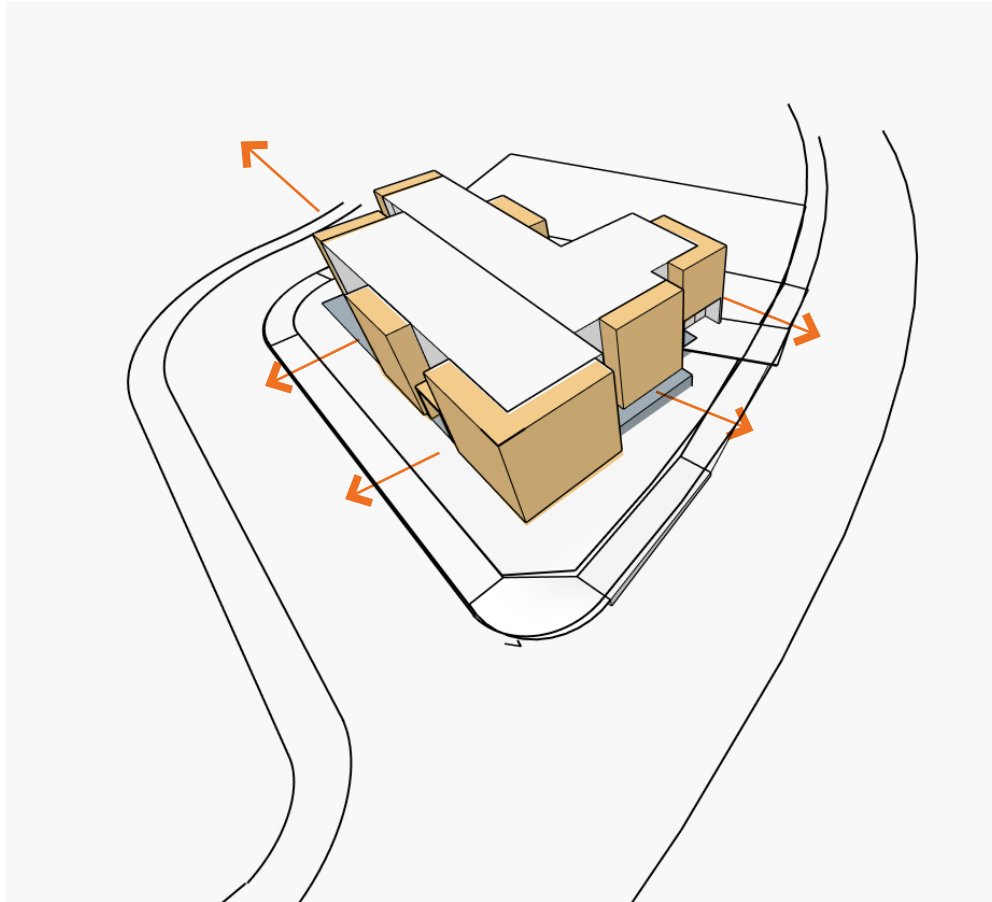
2. SETBACK AND HEIGHT LIMIT

- 4M FROM BOUNDARY
- 3 STOREYS



3. MOVE BUILT FORM AWAY FROM EAST

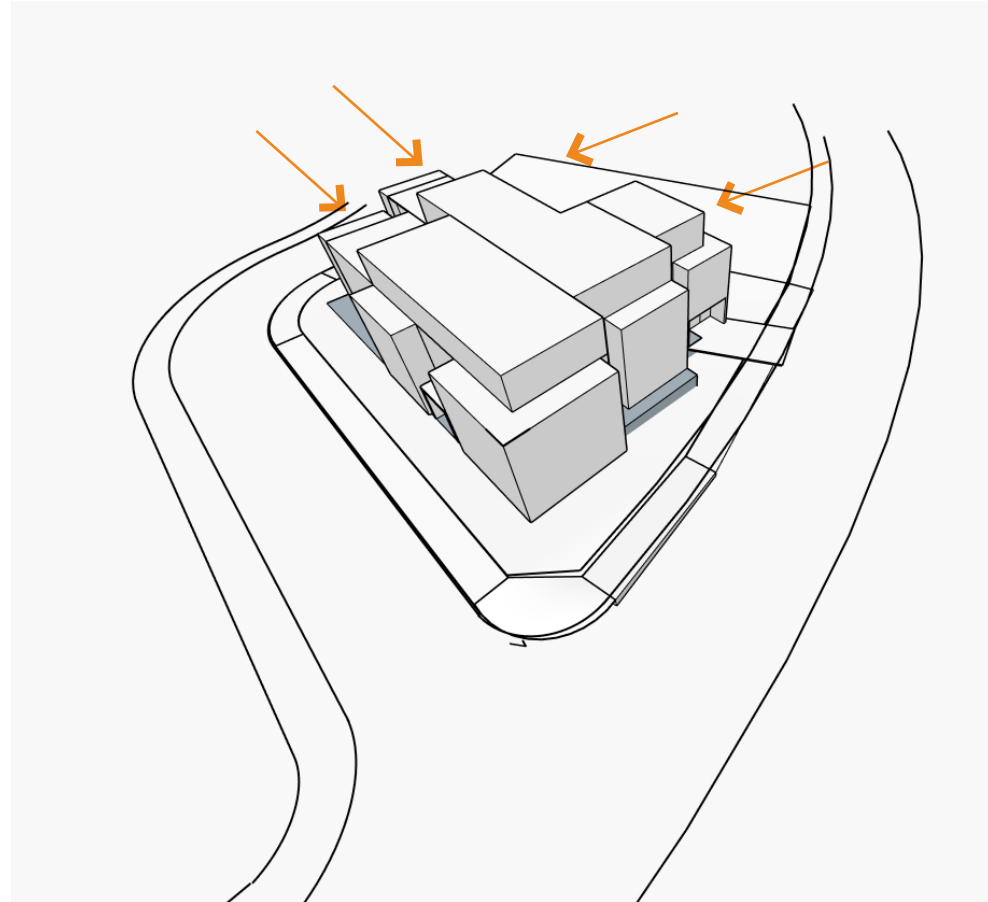
- LOCATE BUILT FORM TOWARDS WEST MAXIMISING SETBACK TOWARDS EASTERN BOUNDARY WITH RESIDENTIAL (2-3 STOREYS)
- MAXIMISE DEEP SOIL LANDSCAPE AREAS BY LOCATING BUILDING OVER BASEMENT



4. ARTICULATE BASE

"PULL" BALCONY FORMS FORWARDS OF MAIN BUILDING LINE TO CREATE ARTICULATION AND SCALE

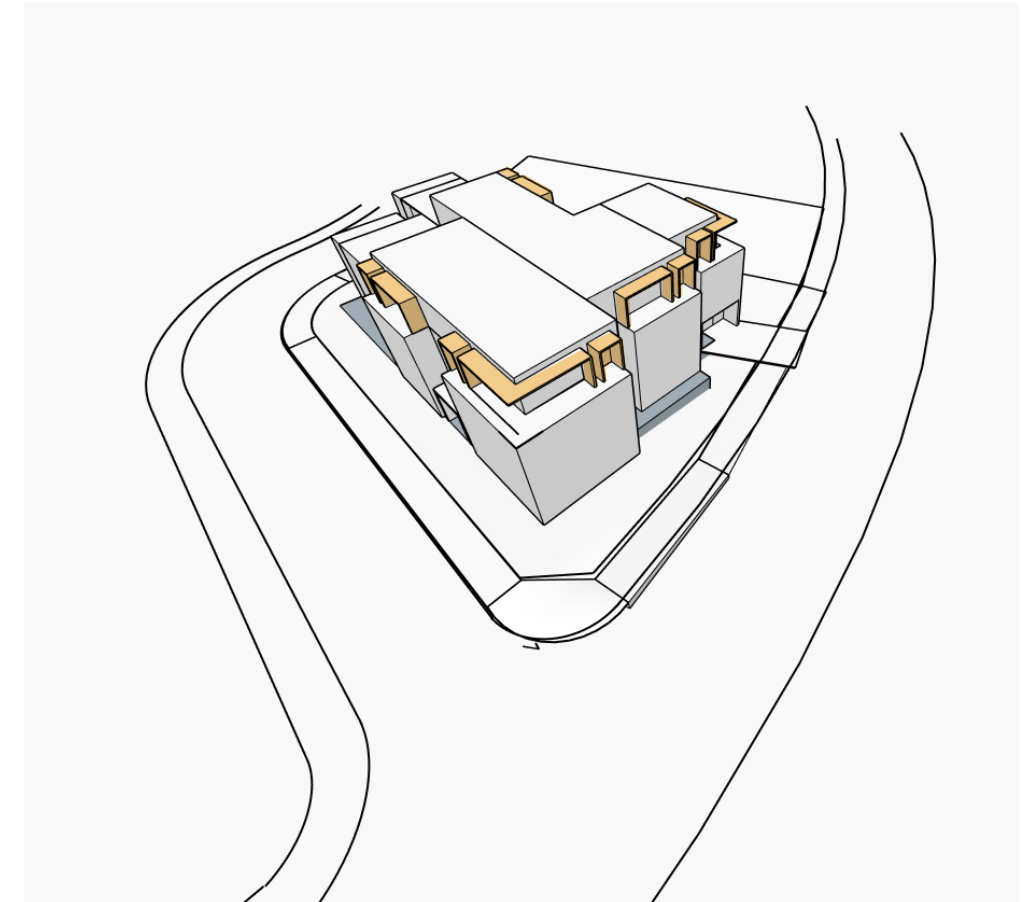
ADDRESS CORNER WITH PARK WITH A BUILT FORM THAT "TURNS THE CORNER"



5. ADDRESS GATEWAY

CREATE A FOURTH LEVEL TOWARDS WEST OF SITE MINIMISING OVERSHADOWING OF NEIGHBOURS

FOURTH LEVELS TO BE SETBACK FROM BUILT FORM BELOW
SETBACK FROM NORTH AND EAST BUILT FORM LINES



6. FINE ARTICULATION ROOFTOP

USE HOODS, AWNINGS AND SCREENS TO BREAK DOWN AND ARTICULATE LEVEL 4 INTERFACE

EYE LEVEL VIEWS

FROM BUNKER PARK / NEWLEAF PARADE CORNER



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EYE LEVEL VIEWS
NORTH WEST CORNER



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